



YUKON

TITLE COMPANY

LISTING PACKAGE

DATE: August 14, 2018

LP2018-2404

PREPARED FOR:

**Meyeres Real Estate
627 Gaffney Road, Ste. 201
Fairbanks, AK 99701
Attn: Audrey Foldoe**

PROPERTY OWNER:

STORMONT

STREET ADDRESS:

7271 RICHARDSON HWY

LEGAL DESCRIPTION:

**Lot 6, BOONDOX SUBDIVISION, RESURVEY,
Plat No. 68-7948**

Thank you for using Yukon Title Company, Inc.



**Logan Bartels
Customer Service**

NOTICE OF DISCLAIMER OF LIABILITY

YUKON TITLE COMPANY, INC. • 714 Gaffney Road • Fairbanks, Alaska 99701 • Phone: 907-456-3474 • Fax: 907-456-3476

This letter and the accompanying materials do not constitute a Policy of Title Insurance or a Commitment for Title Insurance. Further, it is not an Abstract of Title. These materials are furnished as a courtesy by Yukon Title Company, Inc. and the Company does not take responsibility for the completeness or the accuracy of the materials. If you desire a complete report on the status of title, please contact Yukon Title Company, Inc. to arrange for a Commitment or Policy. No transaction or decision should be made based on these materials until such time as the Company has the opportunity to perform a complete search and is prepared to issue a Policy.

LISTING PACKAGE

- A. The following information has been obtained from the Fairbanks North Star Borough records:

REAL PROPERTY TAXES:

2018 Assessed Value:

PAN No.:	119741	Tax Amount:	\$3,012.70
Land:	\$13,408	Misc. Improvement:	N/A
Building:	\$188,058	Total Assessed Value:	\$201,466

*The first half of taxes for 2018 are due September 1, 2018; delinquent September 2, 2018; Second half of taxes are due November 1, 2018; delinquent November 2, 2018.

PARCEL SIZE:	33,105.6 Sq. Feet
ZONING:	GU-1 (See attached information sheet)
RECORDING DISTRICT:	401

- B. There are no covenants that apply to this property. *NOTE: Covenants and restrictions may be contained in individual deeds, of which we make no search.
- C. There is no As Built Survey available.

The following information has been obtained from Yukon Title Company, Inc. records:

1. Last Deed of Record recorded as Instrument No. 2001-017528-0 to:

MICHAEL C. STORMONT

2. Notes and /or Easements as Stated on the Plat.
3. Plat Map
4. Building Details

Property Summary

[back to Search Page](#)

PAN 0119741	PROPERTY PHYSICAL DESCRIPTION - DO NOT RELY ON AS A LEGAL DESCRIPTION LOT 6 BOON DOX	
NEIGHBORHOOD 0502 Saicha-Moose Creek	BUSINESS BOON DOX BAR 33 MILE RICH HWY	PROPERTY CLASS Commercial
MILLAGE GROUP 0295 BOON DOX	MOST RECENT MILLAGE RATE 14.9540	STATUS TAXABLE
FIRE SERVICE AREA Not within a fire service area.		ADDITIONAL INFORMATION Building Details View Property Location

LAND AREA
Parcel
Lot 6 33105.6 Square Feet

OWNER		ADDRESS
NAME	INTEREST	SITUS ADDRESS
STORMONT, MICHAEL C	OWNERSHIP	7271 RICHARDSON HWY

Documents

Documents are current as of 12-31-2016

The FNSB provides a link to view the recorded document at the State of Alaska Recorders Office through the instrument #. Current registered documents **not** showing may be seen at the State of [Alaska Recorders Office Search page](#). The FNSB has no control over the contents posted on any external web sites and these sites may have separate terms of use and privacy policies. The inclusion of this web link does not imply endorsement by the FNSB of the site, its content, advertisers or sponsors.

DESCRIPTION	RECORD DATE	BOOK	PAGE	INSTRUMENT #
Record Survey	12/20/2017			2017-021414-0
Warranty Deed	9/4/2001			2001-017528-0
Multi-Parcel Deed of Trust	9/4/2001			2001-017529-0

Assessment History

For questions regarding assessments, contact the FNSB Department of Assessing at 907-459-1428.

YEAR	LAND	STRUCTURES ETC.	FULL VALUE TOTAL	EXEMPTIONS TOTAL	TAXABLE
2018	\$13,408	\$188,058	\$201,466	\$0	\$201,466
2017	\$13,408	\$188,058	\$201,466	\$0	\$201,466
2016	\$13,408	\$188,058	\$201,466	\$0	\$201,466
2015	\$13,408	\$188,058	\$201,466	\$0	\$201,466
2014	\$13,408	\$188,058	\$201,466	\$0	\$201,466

[Pay Property Taxes by credit card](#)

Tax History (Updated: 08/14/18 03:50 AM AST)

If taxes are delinquent the interest calculation date is: 9/4/2018. All prior year delinquent payments must be made with guaranteed funds.

For payments made after the due dates, please call the FNSB Division of Treasury and Budget at 907-459-1441 for the correct amount.

YEAR	TAX LEVIED	STATE EXEMPTED	FEES	TOTAL DUE	TOTAL PAID	NET DUE
2018	\$3,012.70	\$0.00	\$0.00	\$3,012.70	\$0.00	\$3,012.70
2017	\$2,787.06	\$0.00	\$73.34	\$2,860.40	\$2,860.40	\$0.00
2016	\$2,684.94	\$0.00	\$0.00	\$2,684.94	\$2,684.94	\$0.00
2015	\$2,710.92	\$0.00	\$0.00	\$2,710.92	\$2,710.92	\$0.00
2014	\$2,649.08	\$0.00	\$0.00	\$2,649.08	\$2,649.08	\$0.00

Building Details for PAN 0119741

Building General Features

#YEAR BUILT DESCRIPTION ARCHITECTURE CATEGORY

[View Details](#) 1 1999 Wood, Open Steel Commercial Standard Commercial

Amenities

QUANTITY

DESCRIPTION

2 3 Fix. Bath_Comm

Primary Details

SECTIONID

FOOTPRINT

STORIES

PERIMETER

INTERIORDESC

WALLTYPE

1 2244 1 200 Clubhouse Wd/Stl Fr,Text.Plywd,Lap

Secondary Sections

SECTIONID

FOOTPRINT

SECTIONDESC

2 80 Open Por Finished
3 80 Open Por Finished
4 1031 Deck

Chapter 18.84 GU-1 GENERAL USE DISTRICT

Sections:

- 18.84.010 Intent.
- 18.84.020 Use regulations.
- 18.84.030 Standards.

18.84.010 Intent.

This district is intended to be located in rural areas where community sewer and water systems are unavailable. (Ord. 88-010 § 2, 1988. 2004 Code § 18.44.010.)

18.84.020 Use regulations.

A. Permitted Uses. In the GU-1, general use district, permitted uses are:

1. Shooting range, outdoor permitted; and any use except for correctional facilities.

B. Conditional Uses. In the GU-1, general use district, conditional uses are:

1. Sexually oriented businesses;
2. Biosolids application when used for agricultural purposes or beneficial land application;
3. Large scale development;
4. Marijuana cultivation facility, outdoor unlimited;
5. Marijuana product manufacturing facility, unlimited;
6. Nuclear power plant;
7. Petrochemical plant;
8. Petroleum refinery and storage;
9. Residential cluster development;
10. Sanitary landfill;
11. Shooting range, outdoor;
12. Storage of hazardous substances as the principal use of the property or which are unrelated to those uses that are either permitted outright or conditionally in this zoning district. (Ord. 2015-67 §§ 12, 13, 2016; Ord. 2015-41 § 16, 2015; Ord. 2015-26 § 6, 2015; Ord. 2012-58 §§ 3, 5, 2013; Ord. 2006-82 § 7, 2007; Ord. 94-066 § 2, 1994; Ord. 93-064 § 6, 1994; Ord. 92-006 § 2, 1992; Ord. 90-007 § 2, 1990; Ord. 88-010 § 2, 1988. 2004 Code § 18.44.020.)

18.84.030 Standards.

In the GU-1, general use district, geometric standards are:

A. Lot Area.

1. In the GU-1 district, lot area shall not be less than 40,000 square feet.
 2. Exceptions to Lot Area Requirements. See Chapter 18.96 FNSBC.
- B. Required Yards for All Buildings. Front, side and rear yards shall not be required.
- C. Building Height. Unlimited.
- D. One hundred percent lot coverage. (Ord. 2016-12 § 4, 2016; Ord. 88-010 § 2, 1988. 2004 Code § 18.44.030.)

2001-017528-0

Recording Dist: 401 - Fairbanks
9/4/2001 8:58 AM Pages: 1 of 1

Y28657E

Filed for Record at Request of:
Yukon Title Company, Inc.

A
L
A
S
K
A



AFTER RECORDING MAIL TO:

Name Michael G. Stormont
Address 828 2nd Avenue
City, State Zip Fairbanks, AK 99701



Escrow Number: Y28657

Statutory Warranty Deed

THE GRANTOR Anne H. Burnett, a single woman

Address: 7271 Richardson Highway, Salcha, AK 99714
for and in consideration of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION
in hand paid, conveys and warrants to Michael G. Stormont

the following described real estate, situated in the Fairbanks Recording District, Fourth Judicial District, State of Alaska:

Lots 5 and 6 of the resurvey of a portion of BOONDOX SUBDIVISION, according to the plat filed August 30, 1968 as Plat Number 68-7948; Records of the Fairbanks Recording District, Fourth Judicial District, State of Alaska.

SOLD "AS-IS":

the property is sold in an "AS IS, WHERE IS" condition with no warranties implied or expressed by Grantor except those which appear in writing on the Receipt and Agreement to Purchase dated August 14, 2001

SUBJECT TO: Reservations and exceptions as contained in the U.S. Patent; Notes; Easements of record; and Covenants, Conditions and Restrictions.

Dated this 31st day of August, 2001

Anne H. Burnett

STATE OF ALASKA)
Fourth JUDICIAL DISTRICT) ss.

The foregoing instrument was acknowledged before me this 31st day of August, 2001, by Anne H. Burnett.

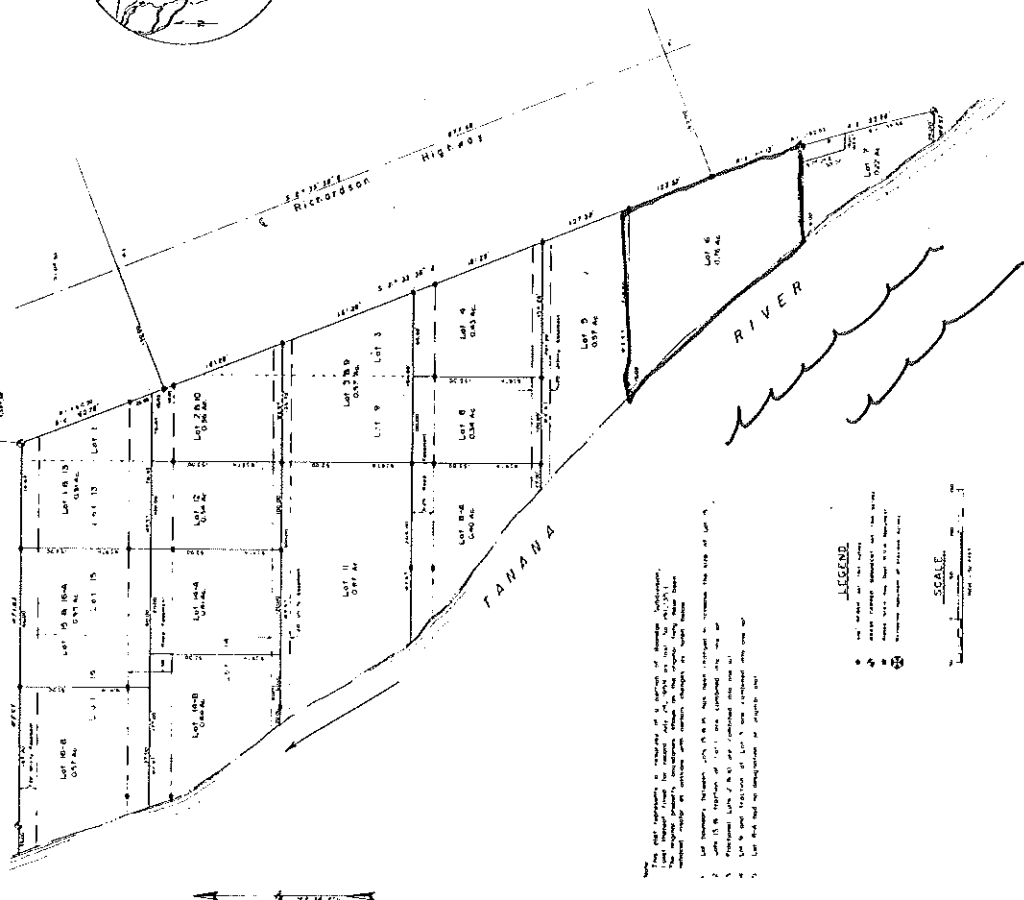
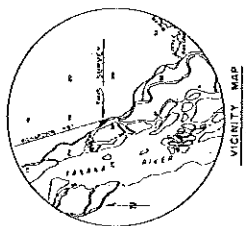
STATE OF ALASKA
NOTARY PUBLIC
Beverly R. Bartels
COMMISSION EXPIRES 4/17/04

Notary Public in and for the State of ALASKA

My Commission Expires: 4/17/2004

PLAT OF RESURVEY

The portion of
BOONDOX SUBDIVISION
 Lot 4 Sec 30, T4S, R4E, FM
 Lying West of the Richardson Highway.



1. Lot boundaries, including lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, and 15, are shown as solid lines.
2. Lot 15 is shown as a dashed line, indicating it is a proposed lot.
3. The Richardson Highway is shown as a solid line with a centerline.
4. The Tanana River is shown as a wavy line.
5. Lot 15 was surveyed on the 15th day of August, 1913.
6. Lot 15 was surveyed on the 15th day of August, 1913.
7. Lot 15 was surveyed on the 15th day of August, 1913.

LEGEND

- Lot 15
- Richardson Highway
- ~ Tanana River

SCALE



STATEMENT OF WORKS
 The work was done by the Surveyor General of the Territory of Alaska, under the authority of the Act of Congress, approved March 3, 1899, and the Act of Congress, approved August 10, 1905, and the Act of Congress, approved August 10, 1905, and the Act of Congress, approved August 10, 1905.

DEED OF GRANT
 This deed is made this 15th day of August, 1913, between the Surveyor General of the Territory of Alaska, of the one part, and the Board of Commissioners of the Richardson Highway, of the other part, for the purpose of conveying to the Board of Commissioners of the Richardson Highway, the portion of the Boondox Subdivision, Lot 4 Sec 30, T4S, R4E, FM, lying west of the Richardson Highway, as shown on the plat of resurvey hereto attached, and as more fully set forth in the recitals hereof.

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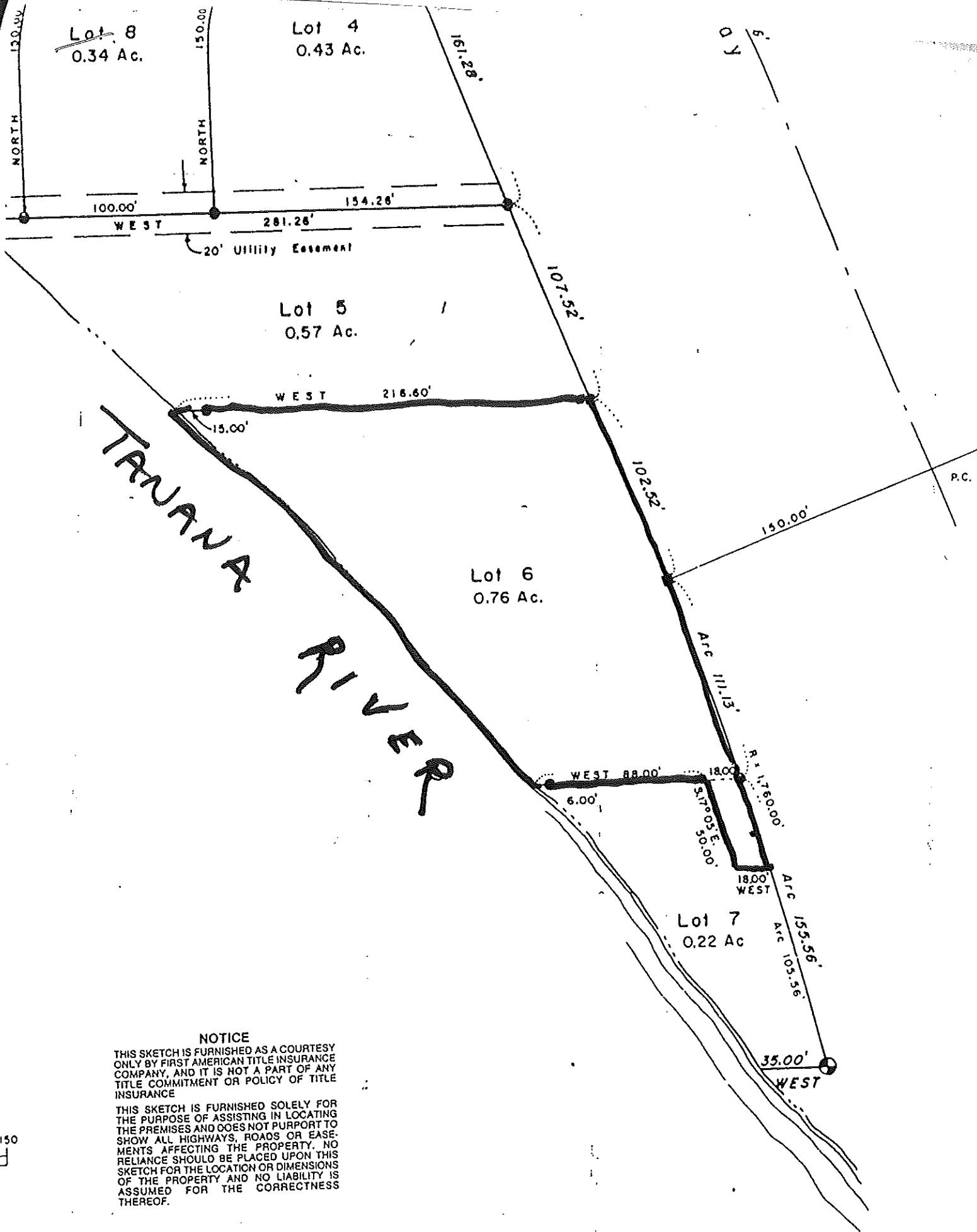
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NOTICE TO CREDITORS
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NOTICE
 THIS SKETCH IS FURNISHED AS A COURTESY ONLY BY FIRST AMERICAN TITLE INSURANCE COMPANY, AND IT IS NOT A PART OF ANY TITLE COMMITMENT OR POLICY OF TITLE INSURANCE

THIS SKETCH IS FURNISHED SOLELY FOR THE PURPOSE OF ASSISTING IN LOCATING THE PREMISES AND DOES NOT PURPORT TO SHOW ALL HIGHWAYS, ROADS OR EASEMENTS AFFECTING THE PROPERTY. NO RELIANCE SHOULD BE PLACED UPON THIS SKETCH FOR THE LOCATION OR DIMENSIONS OF THE PROPERTY AND NO LIABILITY IS ASSUMED FOR THE CORRECTNESS THEREOF.

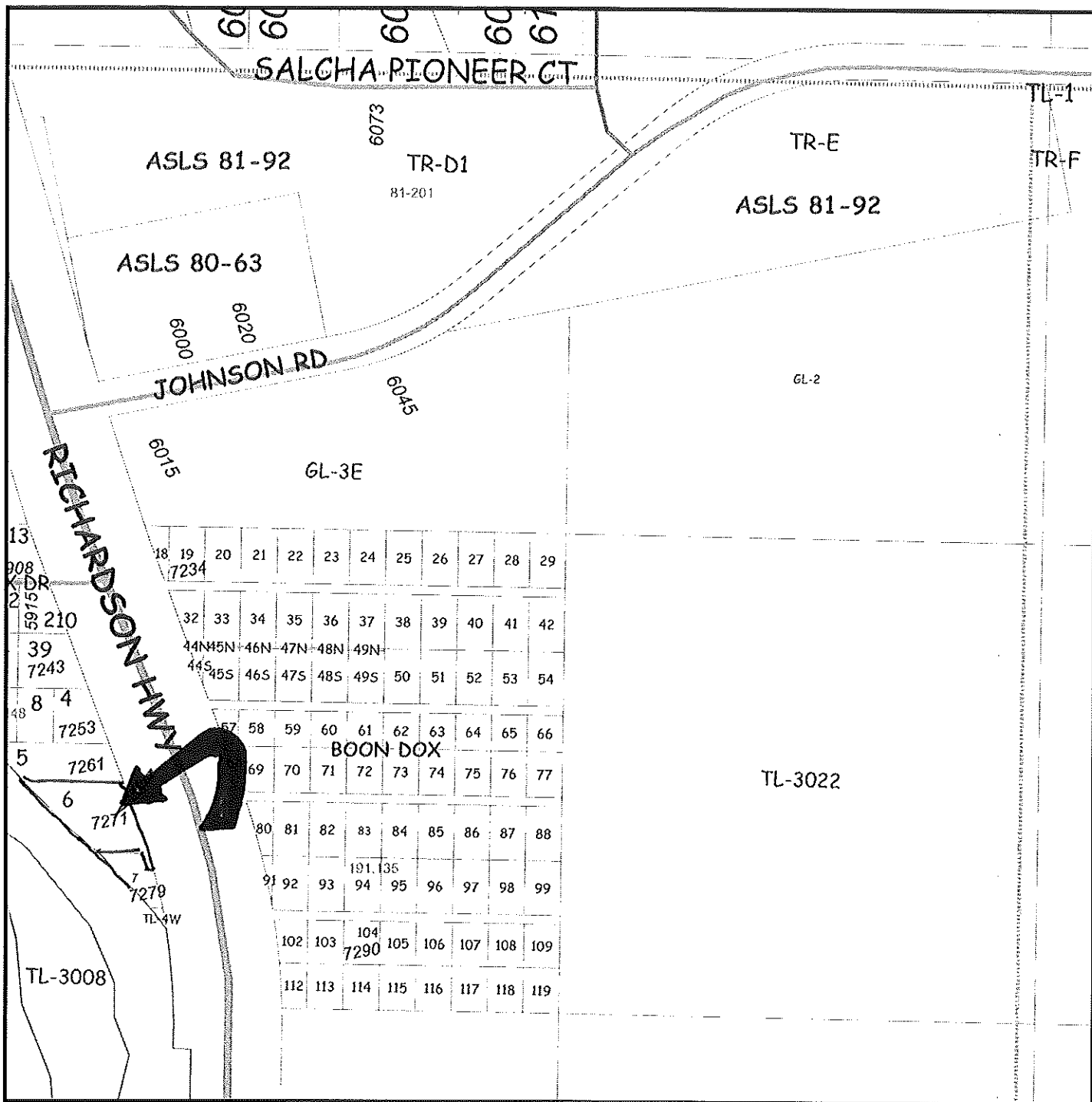
150

Note:

This plat represents a resurvey of a portion of Boondox Subdivision, (plat thereof filed for record July 24, 1959 as Inst. No 191,135).

The original property boundaries shown on the original filing have been retraced insofar as possible with certain changes as noted below.

1. Lot boundary between Lots 15 & 16 has been changed to increase the size of Lot 15.
2. Lots 13 & fraction of Lot 1 are combined into one lot.
3. Fractional Lots 2 & 10 are combined into one lot.
4. Lot 9 and fraction of Lot 3 are combined into one lot.
5. Lot 8-A had no designation on original plat.



Owner

MICHAEL STORMONT
828 2ND AVE
FAIRBANKS AK 99701

Legal

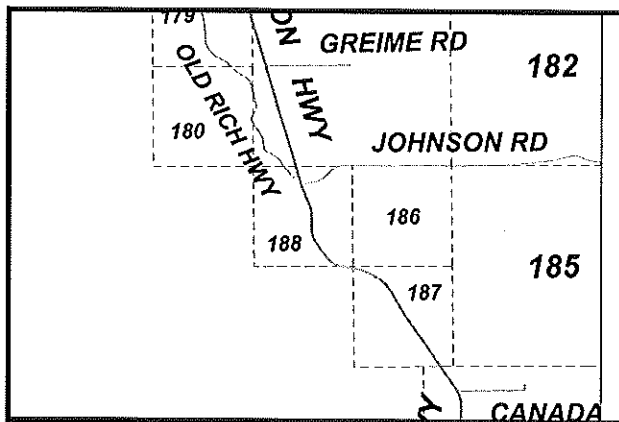
LOT 6 BOON DOX

Address 7271 RICHARDSON HWY

Tax ID	FNSB MAP	ASM Book
119741	24414	188
T R S	Zoning	Zip Code Area
F-04S-04E-30	GU-1	99714
Land App	Bldg Appr	SQ FT / ACRE
13408	188058	33105.6 0.76
Mill Rate	Primary Use	Tax Year
12.971	COMMERCIAL	2013
Est Taxes	Year Built	Tax Status
2613.22	1999	TAXABLE

Census Tract	17
Community	SALCHA-MOOSE CREEK
Elem School	SALCHA
Middle School	EIELSON
High School	EIELSON
Road Service	
Fire Service	NONE
Latitude	64.54025704
Longitude	-147.02241
MLS Area	65 765
Voting Dist	Salcha Precinct
House District	House 12
Senate District	Senate Q
Flood Zone	A
Elevation	400

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River

DECK

