



YUKON
TITLE COMPANY
LISTING PACKAGE

DATE: August 20, 2018

LP2018-2442

PREPARED FOR:

**Meyeres Real Estate
627 Gaffney Road, Ste. 201
Fairbanks, AK 99701
Attn: Audrey Foldoe**

PROPERTY OWNER:

DENALITANANA LLC

STREET ADDRESS:

95 FAREWELL AVE UNIT 9

LEGAL DESCRIPTION:

**Unit 9, TANANA MANOR CONDOMINIUMS,
Plat No. 82-178**

Thank you for using Yukon Title Company, Inc.



**Logan Bartels
Customer Service**

NOTICE OF DISCLAIMER OF LIABILITY

YUKON TITLE COMPANY, INC. • 714 Gaffney Road • Fairbanks, Alaska 99701 • Phone: 907-456-3474 • Fax: 907-456-3476

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LISTING PACKAGE

- A. The following information has been obtained from the Fairbanks North Star Borough records:

REAL PROPERTY TAXES:

2018 Assessed Value:

PAN No.:	360015	Tax Amount:	\$1,487.18
Land:	N/A	Misc. Improvement:	N/A
Building:	\$75,000	Total Assessed Value:	\$75,000

*The first half of taxes for 2018 are PAID; the second ½ of taxes are due November 1, 2018; delinquent November 2, 2018.

PARCEL SIZE:	1 Condominium Unit
ZONING:	MF (See attached information sheet)
RECORDING DISTRICT:	401

- B. There is no As Built Survey available.

The following information has been obtained from Yukon Title Company, Inc. records:

1. Last Deed of Record recorded as Instrument No. 2017-016509-0 to:

DENALITANANA, LLC

2. Covenants, Conditions and Restrictions. *NOTE: Covenants and restrictions may be contained in individual deeds, of which we make no search.
3. Notes and /or Easements as Stated on the Plat.
4. Plat Map
5. Building Details

Property Summary

[back to Search Page](#)

PAN 0360015	PROPERTY PHYSICAL DESCRIPTION - DO NOT RELY ON AS A LEGAL DESCRIPTION UNIT 9 TANANA MANOR CONDO OUT OF LOT 6 & 7 BLOCK 50 HAMILTON ACRES	
NEIGHBORHOOD 0121 Hamilton Acres	BUSINESS	PROPERTY CLASS Resi-Condo
MILLAGE GROUP 0172 TANANA MANOR CONDO	MOST RECENT MILLAGE RATE 19.8290	STATUS TAXABLE
FIRE SERVICE AREA CITY OF FAIRBANKS		ADDITIONAL INFORMATION Building Details View Property Location

LAND AREA
Parcel
1 1 Condominium Unit

OWNER		ADDRESS
NAME	INTEREST	SITUS ADDRESS
DENALITANANA, LLC,	OWNERSHIP	95 FAREWELL AVE UNIT 9

Documents

Documents are current as of 12-31-2016

The FNSB provides a link to view the recorded document at the State of Alaska Recorders Office through the instrument #. Current registered documents **not** showing may be seen at the State of [Alaska Recorders Office Search page](#). The FNSB has no control over the contents posted on any external web sites and these sites may have separate terms of use and privacy policies. The inclusion of this web link does not imply endorsement by the FNSB of the site, its content, advertisers or sponsors.

DESCRIPTION	RECORD DATE	BOOK	PAGE	INSTRUMENT #
Warranty Deed	10/6/2017			2017-016509-0
Covenant Amendment	9/25/2007			2007-022527-0
Warranty Deed	2/28/1992	738	383	1992-003274-0
Deed of Trust	2/28/1992	738	385	
Declaration	12/13/1982	287	856	
Plat	11/29/1982			1982-025714-0

Assessment History

For questions regarding assessments, contact the FNSB Department of Assessing at 907-459-1428.

YEAR	LAND	STRUCTURES ETC.	FULL VALUE TOTAL	EXEMPTIONS TOTAL	TAXABLE
2018	\$0	\$75,000	\$75,000	\$0	\$75,000
2017	\$0	\$75,000	\$75,000	\$0	\$75,000
2016	\$0	\$75,000	\$75,000	\$0	\$75,000
2015	\$0	\$75,000	\$75,000	\$0	\$75,000
2014	\$0	\$75,000	\$75,000	\$0	\$75,000

[Pay Property Taxes by credit card](#)

Tax History (Updated: 08/20/18 03:50 AM AST)

If taxes are delinquent the interest calculation date is: 9/4/2018. All prior year delinquent payments must be made with guaranteed funds.

For payments made after the due dates, please call the FNSB Division of Treasury and Budget at 907-459-1441 for the correct amount.

YEAR	TAX LEVIED	STATE EXEMPTED	FEES	TOTAL DUE	TOTAL PAID	NET DUE
2018	\$1,487.18	\$0.00	\$0.00	\$1,487.18	\$743.59	\$743.59
2017	\$1,334.04	\$0.00	\$0.00	\$1,334.04	\$1,334.04	\$0.00
2016	\$1,280.20	\$0.00	\$0.00	\$1,280.20	\$1,280.20	\$0.00
2015	\$1,295.78	\$0.00	\$0.00	\$1,295.78	\$1,295.78	\$0.00
2014	\$1,267.88	\$0.00	\$0.00	\$1,267.88	\$1,267.88	\$0.00

Building Details for PAN 0360015

Building General Features

YEAR BUILT DESCRIPTION ARCHITECTURE CATEGORY

[View Details](#) 1 1982 Condominium Condominium 07 Residential

Amenities

QUANTITY	DESCRIPTION
1	3-Fix. Bath_SFR

Primary Details

SECTIONID	FOOTPRINT	STORIES	PERIMETER	INTERIORDESC	WALLTYPE
1	975	1	130	Main Area	2x4 STD Siding

**Chapter 18.52
MF MULTIPLE-FAMILY RESIDENTIAL DISTRICT**

Sections:

- 18.52.010 Intent.
- 18.52.020 Use regulations.
- 18.52.030 Standards.

18.52.010 Intent.

This district is intended for high density residential development provided through a variety of housing types and other types of quasi-residential and public use development maintaining the high density residential nature of the district. This district is intended for areas where community sewer and water systems are available. (Ord. 88-010 § 2, 1988. 2004 Code § 18.26.010.)

18.52.020 Use regulations.

A. Permitted Uses. In the MF multiple-family residential district, permitted uses are:

1. Any permitted use in the SF-20, SF-10, SF-5 and TF districts;
2. Bed and breakfast residence;
3. Multiple-family dwellings.

B. Conditional Uses. In the MF, multiple-family residential district, conditional uses are:

1. Any conditional use in the SF-20, SF-10, SF-5 and TF districts;
2. Communications tower, major;
3. Communications tower, minor;
4. Group homes;
5. Libraries;
6. Mobile home parks;
7. Museums and art galleries;
8. Nursing homes, convalescent homes, retirement centers and similar institutions;
9. Public recreation buildings and community centers;
10. Roominghouse;
11. Schools: art, music, dance, business, trade and similar educational uses. (Ord. 2012-58 §§ 4, 6, 2013; Ord. 2007-70 § 3, 2007; Ord. 89-099 § 9, 1990; Ord. 88-010 § 2, 1988. 2004 Code § 18.26.020.)

18.52.030 Standards.

In the MF, multiple-family residential district, geometric standards are:

A. Lot Area.

1. Lot area for a single-family detached dwelling or other allowable uses not listed below shall not be less than 5,000 square feet;
2. Lot area for a two-family attached dwelling shall not be less than 3,500 square feet per dwelling unit;
3. Lot area for a multiple-family dwelling shall not be less than 2,000 square feet per dwelling unit.

B. Required Yards for Principal Buildings.

1. Front yard shall not be less than 20 feet;
2. Side yard shall not be less than 10 feet;
3. Rear yard shall not be less than 10 feet.

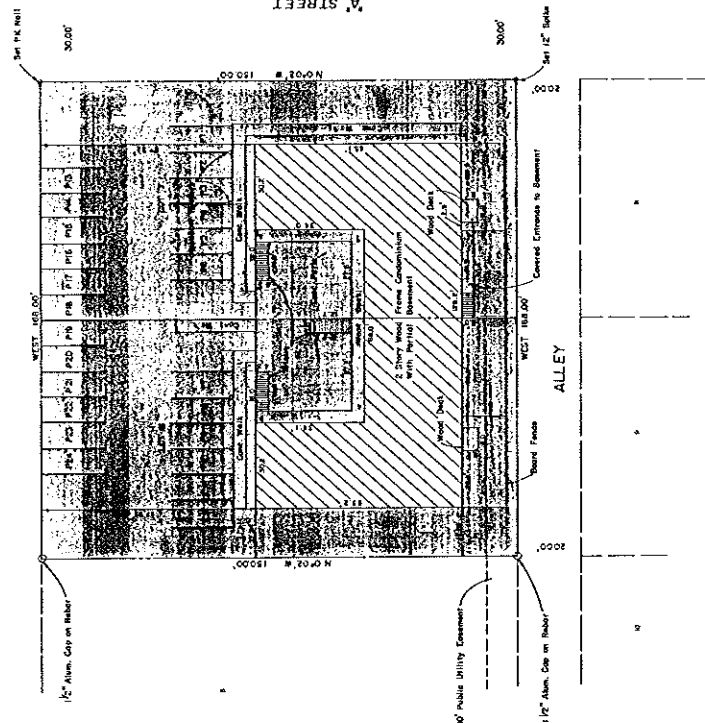
C. Building Height. Unlimited.

D. Exceptions to Yard, Lot Area, and Building Height Requirements. See Chapter 18.96 FNSBC.

E. Parking. See Chapter 18.96 FNSBC.

F. Signs. See Chapter 18.96 FNSBC. (Ord. 2016-12 § 3, 2016; Ord. 88-010 § 2, 1988. 2004 Code § 18.26.030.)

FAREWELL AVENUE



- NOTES:
1. The condominium depicted herein is subject to the provisions of the International Property Franchise Act, Chapter 26, Alaska Statutes Supplement.
 2. The common areas shall include, but not be limited to, the building lines of each unit, all exterior walls, roofs, porches, balconies, patios, walkways, stairs, elevators, and other fixtures and appurtenances thereto, and all other fixtures, appurtenances, and improvements located on the common areas both the portion of the building as depicted and the exterior improvements.
 3. The building shall be constructed in accordance with the provisions of the International Property Franchise Act, Chapter 26, Alaska Statutes Supplement, and shall be subject to the provisions of the International Property Franchise Act, Chapter 26, Alaska Statutes Supplement, and shall be subject to the provisions of the International Property Franchise Act, Chapter 26, Alaska Statutes Supplement, and shall be subject to the provisions of the International Property Franchise Act, Chapter 26, Alaska Statutes Supplement.
 4. All dimensions, elevations, and elevations are given in feet and hundredths of feet.
 5. Walls, driveways, landscaping, and other improvements are shown as common areas.
 6. The building shall be constructed in accordance with the provisions of the International Property Franchise Act, Chapter 26, Alaska Statutes Supplement, and shall be subject to the provisions of the International Property Franchise Act, Chapter 26, Alaska Statutes Supplement, and shall be subject to the provisions of the International Property Franchise Act, Chapter 26, Alaska Statutes Supplement.
 7. The building shall be constructed in accordance with the provisions of the International Property Franchise Act, Chapter 26, Alaska Statutes Supplement, and shall be subject to the provisions of the International Property Franchise Act, Chapter 26, Alaska Statutes Supplement, and shall be subject to the provisions of the International Property Franchise Act, Chapter 26, Alaska Statutes Supplement.
 8. Dimensions Indicated
 Dimension Common Areas

RECORDS OF CONVEYANCE, CONVEYANCE AND RESTRICTIONS FILED: 11/29/82
 BOOK 285 PAGE 719

82-178
 RECORDED - 11/29/82
 FILED - 11/29/82
 COUNTY - ALASKA
 DISTRICT - 1
 BY: [Signature]
 TITLE: [Title]

Certification of Ownership
 We hereby certify that we are the owners of Lots 6 and 7, Block 50, Tanana Manor Condominiums as depicted on the attached plat and that we are the owners of the same in accordance with the provisions of the International Property Franchise Act, Chapter 26, Alaska Statutes Supplement, and shall be subject to the provisions of the International Property Franchise Act, Chapter 26, Alaska Statutes Supplement.

Nancy Acknowledgment
 I, [Name], Vice President
 of [Company Name]
 do hereby acknowledge the foregoing.

Nancy Acknowledgment
 I, [Name], Secretary
 of [Company Name]
 do hereby acknowledge the foregoing.

Engineer's Certificate

I hereby certify that this floor plan and survey fully comply with the provisions of the International Property Franchise Act, Chapter 26, Alaska Statutes Supplement, and shall be subject to the provisions of the International Property Franchise Act, Chapter 26, Alaska Statutes Supplement.



Surveyor's Certificate

I hereby certify that this floor plan and survey fully comply with the provisions of the International Property Franchise Act, Chapter 26, Alaska Statutes Supplement, and shall be subject to the provisions of the International Property Franchise Act, Chapter 26, Alaska Statutes Supplement.

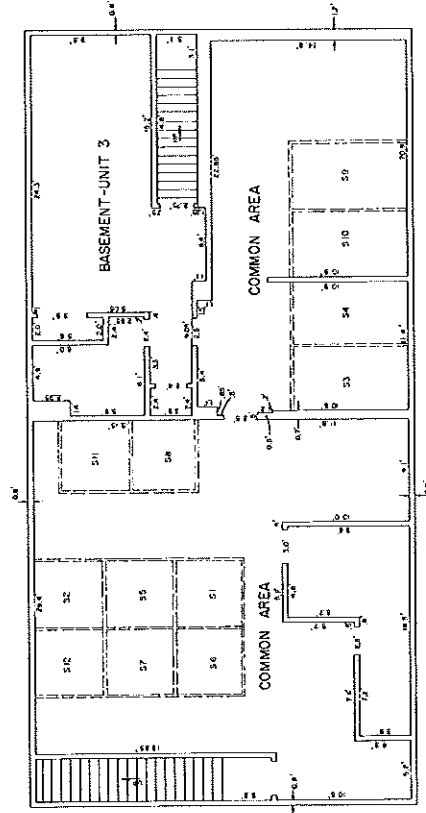


TANANA MANOR CONDOMINIUMS
 44-8887




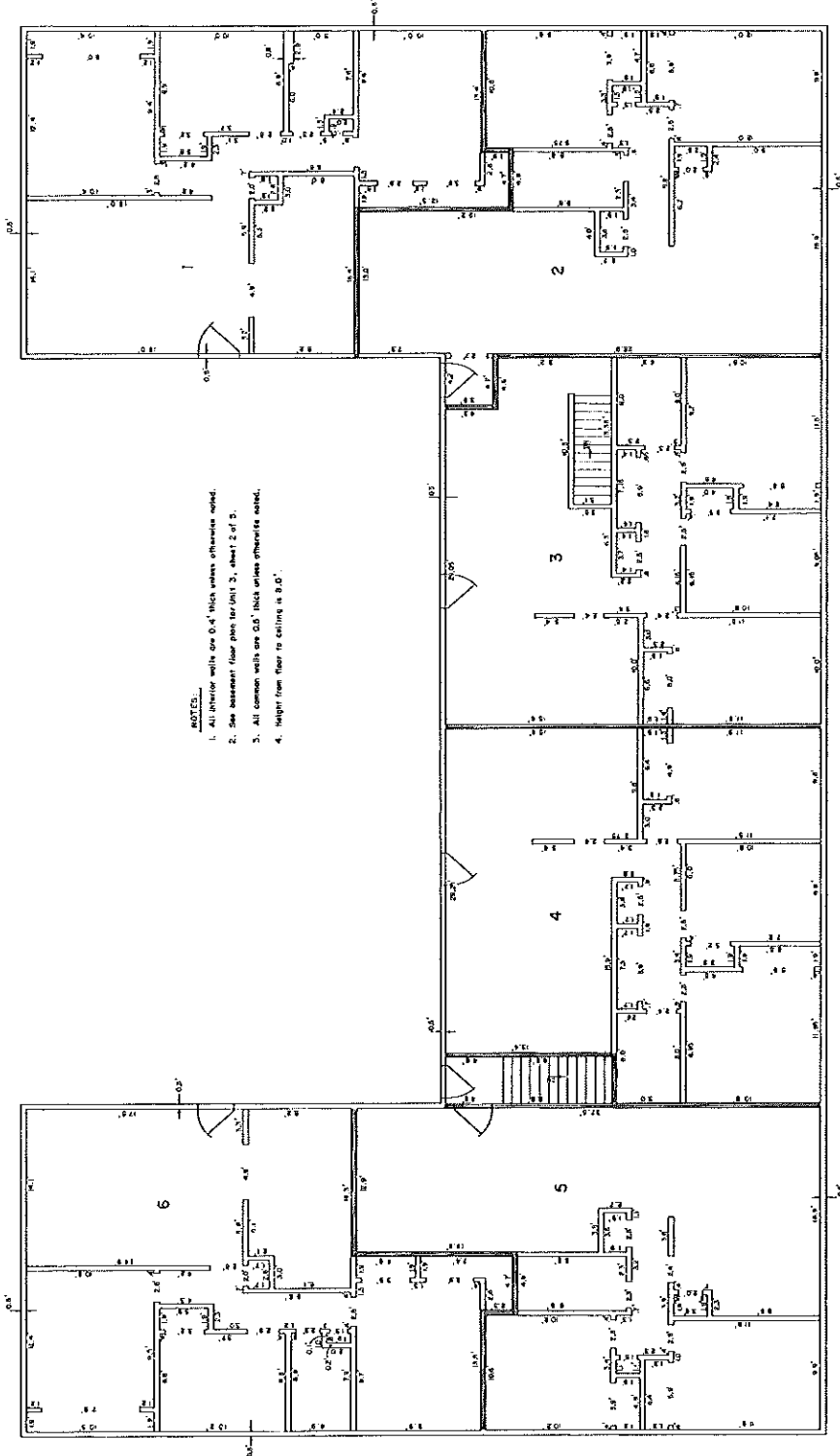
NOTES:

1. All interior walls are 0.4" thick unless otherwise noted.
2. Height from floor to ceiling is 7.7'.



Project Recording Dist. 82-178

 <p>TRIAD ARCHITECTURAL SERVICES, INC. 1017 2nd Street, N.W. Atlanta, Georgia</p>		<p>TANANIA MANOR CONDOMINIUMS BASEMENT</p>	
Scale	DATE	Drawn By	Checked By
1/8" = 1'-0"	08/12/03	J.P.	J.P.
Sheet No.	Project No.	Drawn Date	Checked Date
10	82-178	08/12/03	08/12/03

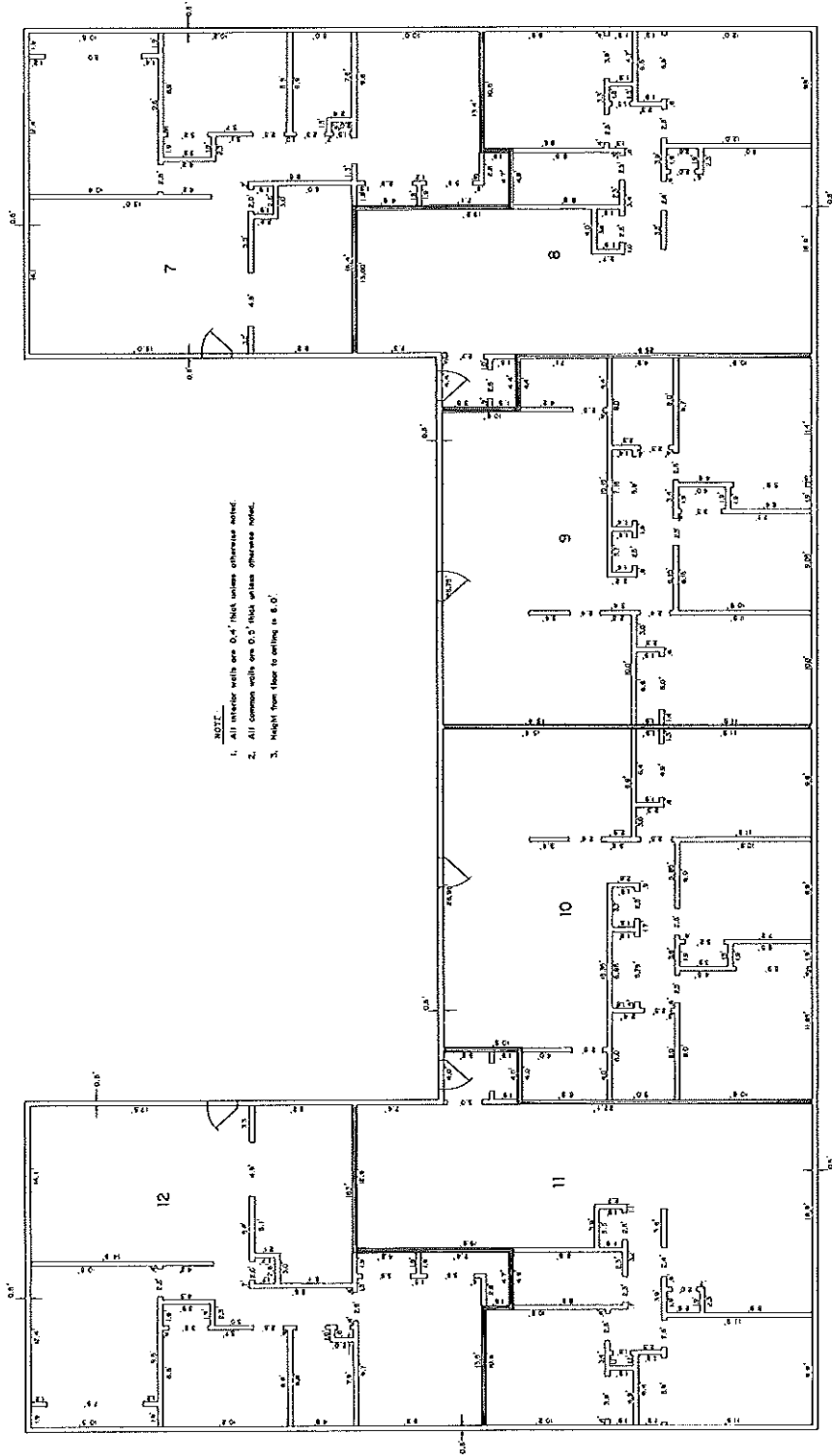


- NOTES:**
1. All interior walls are 0.4" thick unless otherwise noted.
 2. See basement floor plan for UNIT 2, sheet 2 of 3.
 3. All common walls are 0.5" thick unless otherwise noted.
 4. Height from floor to ceiling is 8.0'.

Feas. Recycling Disgn...
82-178

TANANA MANOR CONDOMINIUMS UNITS 1 THRU 6	
Sheet: D-10	Scale: 1/4" = 1'-0"
Drawn: D.H.D.	Checked: L.P.
Date: 11-1-82	Project No. 82-178
Sheet No. 3 of 5	File No.

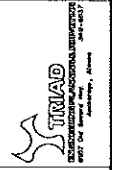


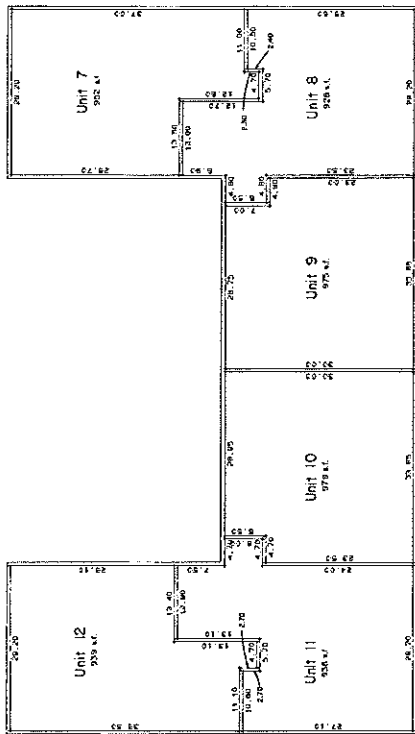


- NOTE:
1. All interior walls are 0.4" thick unless otherwise noted.
 2. All common walls are 0.5" thick unless otherwise noted.
 3. Height from floor to ceiling is 8.0'.

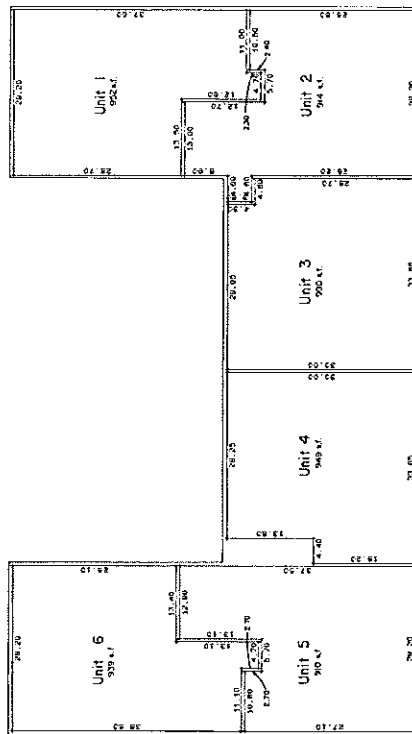
Plans, Recording Dist.
82-178

TANANIA MANOR CONDOMINIUMS			
UNITS 7 THRU 12			
DATE	BY	SCALE	NO.
01/12/82	J.P.	1/8" = 1'-0"	12
OWNER	DESIGNER	DATE	NO.
D.M.C.	D.M.C.	01/12/82	12

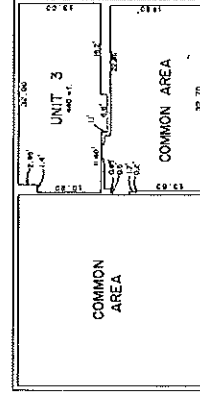




SECOND FLOOR



FIRST FLOOR



BASEMENT

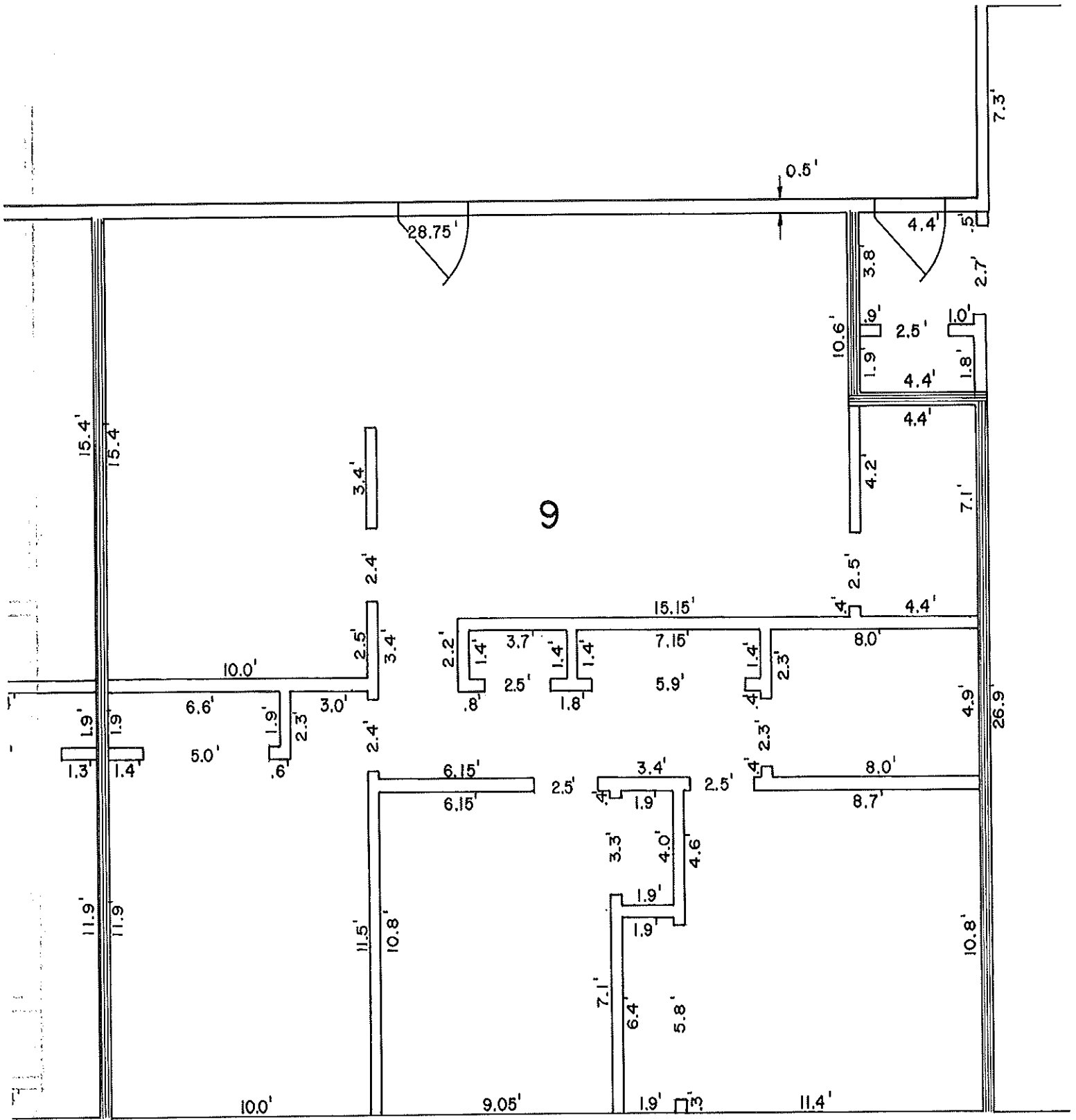
NOTE: See sheet 2 for wall placement.

PKGS. Recording DIST. 82-178


TRIAD
 2007 Oak Street Way
 Jacksonville, Florida 32217
 Phone: 904.251.1111
 Fax: 904.251.1112



TAMANA MANOR CONDOMINIUMS
 82-178

DATE	BY	CHKD.	APP'D.



NOTES

1. The condominium depicted hereon is subject to the provisions of the Horizontal Property Regimes Act, Chapter 34, Alaska Statutes Supplement.
2. The condominium plan contains 12 units. The boundary lines of each unit are the interior unfinished surface exclusive of paint, paper, wax, tile, enamel, or other finishings, perimeter walls, floors, ceilings, windows, and doors. The apartment includes both the portion of the building so described and the airspace encompassed.
3. "COMMON AREA" means all the land and all portions of property located within lots 6 & 7, block 50, South & Middle West Portion, Hamilton Acres Subdivision and not located within any unit, and also includes, but not by way of limitations, all roofs, foundations, duct, flues, chutes, conduits, wires, and other utility installations to the outlets, bearing wall, columns, and girders to the unfinished surface thereof, all regardless of the location within said lots.
4. All distances, dimensions, and elevations are given in feet and hundredths of feet.
5. Walks, driveways, landscaping, and other improvements are shown as common areas.
6. The owner of each unit shall own an undivided interest in the "COMMON AREA" within lots 6 & 7, block 50 South & Middle West Portion, Hamilton Acres Subd.
7. The meaning of the word "UNIT" as used in the plans is identical to "APARTMENT" as defined in the statutes referred to in Note 1.

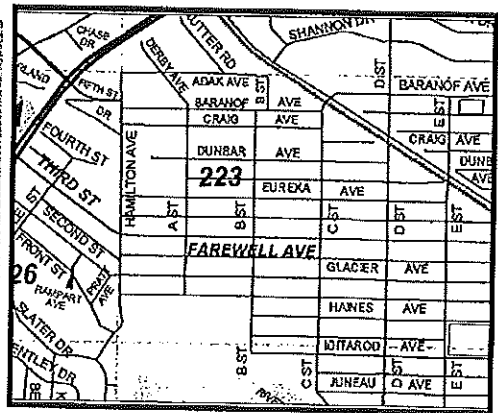
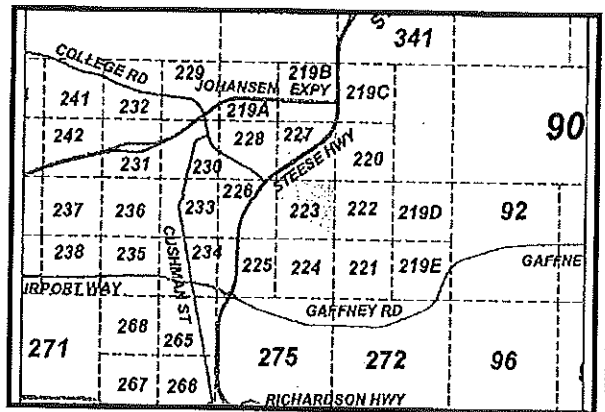
8.  Denotes Building
 Denotes Common Areas

NOTES:

1. All interior walls are 0.4' thick unless otherwise noted.
2. Height from floor to ceiling is 7.7' .

NOTES:

1. All interior walls are 0.4' thick unless otherwise noted.
2. See basement floor plan for Unit 3, sheet 2 of 5.
3. All common walls are 0.5' thick unless otherwise noted.
4. Height from floor to ceiling is 8.0'.



1S-1W
 Community
 Northeast City
 311A31
223
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 Alaska StreetMaster
 P.O. Box 143725
 Anchorage, AK 99514
 407-245-0177